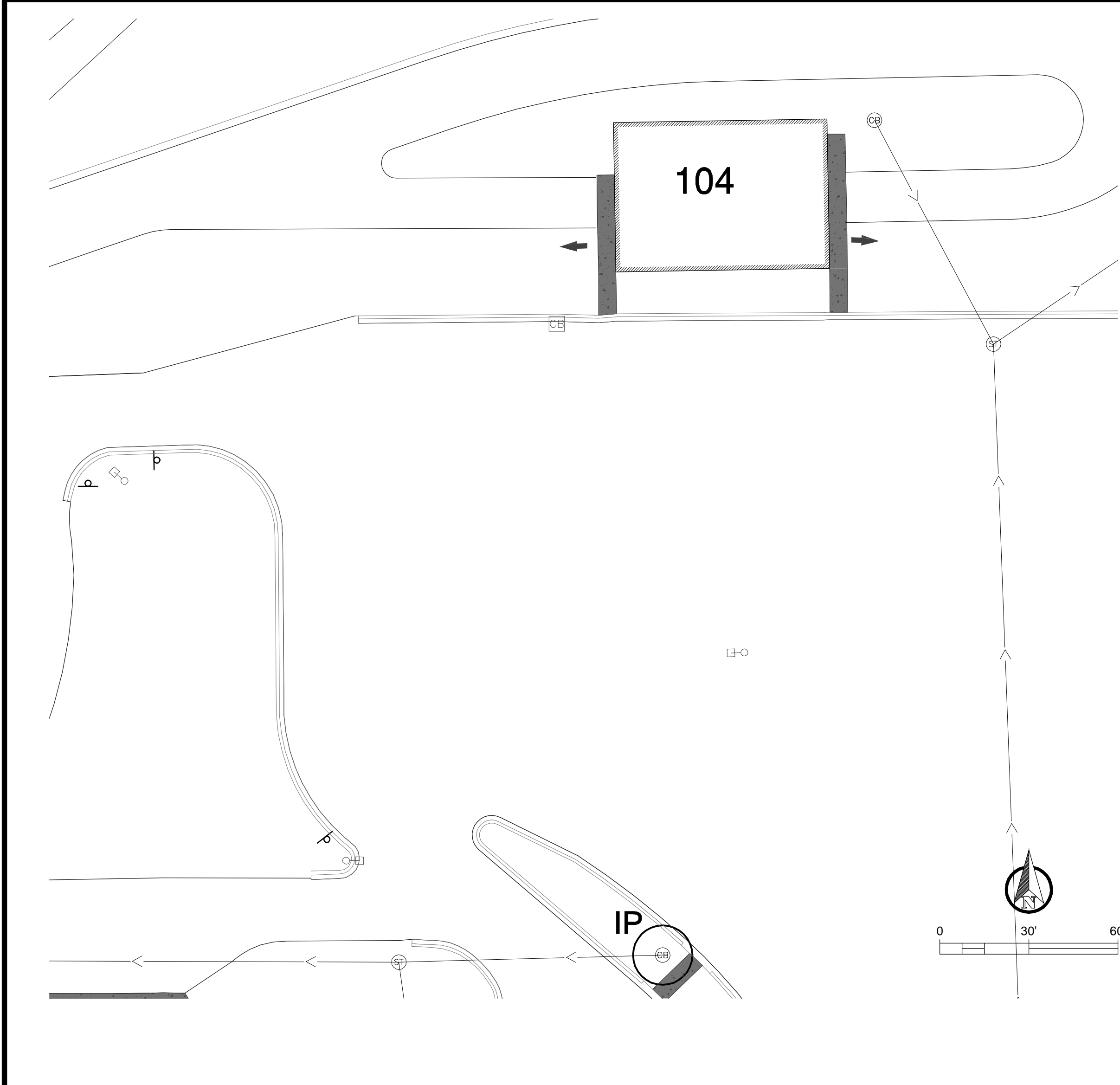
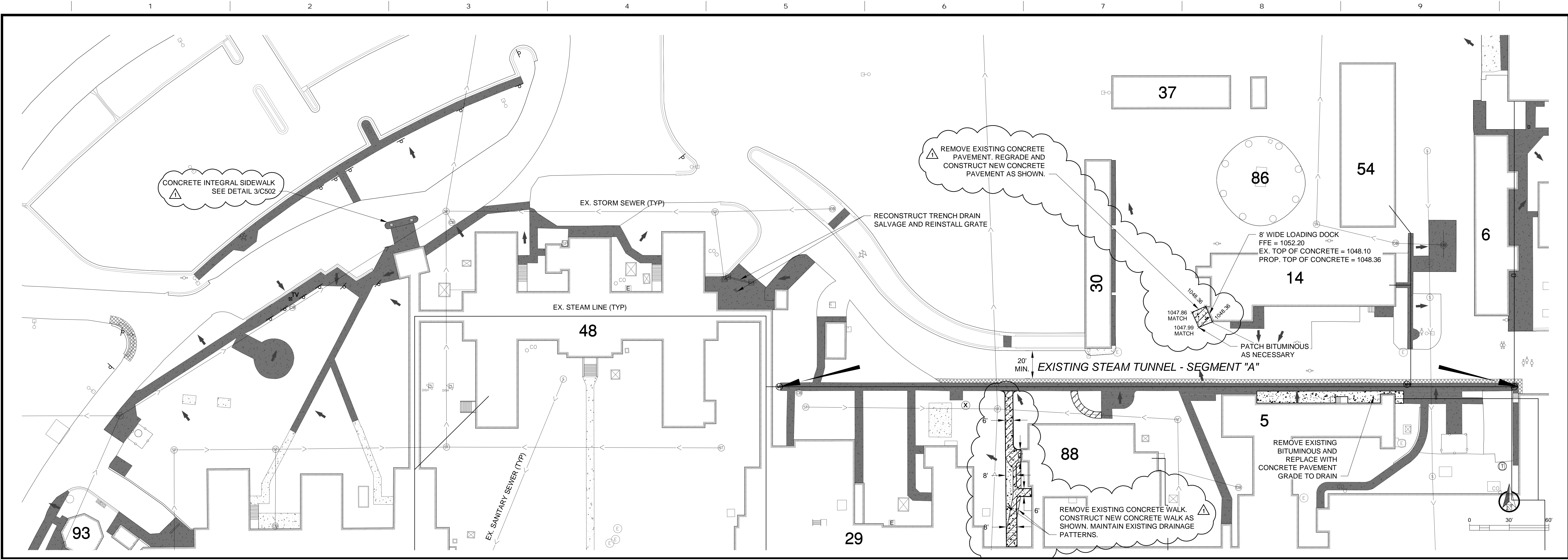


three inches = one foot
one and one half inches = one foot
one inch = one foot
three quarters inch = one foot
one half inch = one foot
three eighths inch = one foot
one quarter inch = one foot
one eighth inch = one foot



NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING A SITE SURVEY AND VERIFYING ALL EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES WHETHER SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEM FROM DAMAGE. CALL GOPHER STATE ONE CALL: 1-800-252-1166.
3. ORANGE CONSTRUCTION FENCE SHALL BE PROVIDED AROUND ENTIRE PERIMETER OF CONSTRUCTION AREA (SEE DETAIL 5/C502). CONTRACTOR SHALL COORDINATE ACCESS THROUGH CONSTRUCTION FENCE WITH DAILY CONSTRUCTION ACTIVITY. ALL ENTRANCES/OPENINGS SHALL BE ENCLOSED AT ALL TIMES AND MONITORED FOR PASSAGE OF EQUIPMENT.
4. ALL OPEN TRENCHES AND EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY. NO OPEN TRENCHES OR EXCAVATIONS ALLOWED OVERNIGHT.
5. THE CONTRACTOR SHALL REMOVE AND REPLACE OR RECONSTRUCT EXISTING SITE FURNISHINGS (BENCHES, PICNIC TABLES, SWINGS, DRINKING FOUNTAINS, TRASH CONTAINERS, FENCES, SIGNS, ETC.) AS NECESSARY TO COMPLETE CONSTRUCTION. ANY ITEMS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR SHALL BE REPLACED WITH EQUAL OR BETTER AT NO COST TO THE OWNER.
6. CONCRETE SIDEWALK/PAVEMENT SHALL BE REMOVED AND REPLACED SO AS TO MATCH EXISTING ELEVATION AND GRADE. EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED. CONTRACTOR SHALL DETERMINE EXISTING ELEVATION AND GRADE PRIOR TO REMOVAL.
7. ALL SIDEWALKS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 5.00% LONGITUDINAL SLOPE AND 2.00% CROSS SLOPE.
8. A MINIMUM 3' RADIUS SHALL BE PROVIDED AT ALL CONCRETE SIDEWALK INTERSECTIONS. SEE DETAIL 3/C503.
9. CONCRETE CURB/CURB AND GUTTER SHALL BE REMOVED AND REPLACED SO AS TO MATCH EXISTING ELEVATION AND GRADE. CONTRACTOR SHALL DETERMINE EXISTING ELEVATION AND GRADE PRIOR TO REMOVAL.
10. PATCH BITUMINOUS PAVEMENT AS NECESSARY TO MATCH EXISTING CONDITIONS. ALL BITUMINOUS MATCH LINES SHALL BE SAW-CUT.
11. CONTRACTOR SHALL ADJUST EXISTING MANHOLES, CATCH BASINS, GATE VALVES, ETC. TO MATCH FINISHED GRADE OF THE CONCRETE SIDEWALK/PAVEMENT. SET FINAL ELEVATION 1/4 INCH BELOW FINISHED GRADE. SALVAGE AND REINSTALL EXISTING CASTINGS.
12. NEW TRUNCATED DOME TACTILE-WARNING STRIPS SHALL BE INSTALLED IN LOCATIONS WHERE THEY WERE REMOVED WITH SIDEWALK REMOVAL. NEW TRUNCATED DOME TACTILE-WARNING STRIPS SHALL BE INSTALLED AT ALL BOUNDARIES BETWEEN THE SIDEWALK AND THE STREET/PARKING LOT.

13. ANY PAINTING ON THE SIDEWALK IN AREAS OF SIDEWALK REMOVAL/REPLACEMENT SHALL BE REPAINTED BY THE CONTRACTOR USING SEYMOUR 20-646 TRAFFIC YELLOW PAINT, OR APPROVED EQUAL.
14. CONTRACTOR SHALL COORDINATE WITH THE C.O.R. REGARDING ANY POTENTIAL CONFLICTS BETWEEN WORK OF THIS CONTRACT AND OTHER AREAS UNDER CONSTRUCTION.

PHASING:

ACCESS TO ALL BUILDINGS AND PARKING AREAS MUST BE MAINTAINED THROUGHOUT THE PROJECT. NO MORE THAN ONE BUILDING ACCESS POINT CAN BE OUT OF SERVICE AT A TIME FOR NO MORE THAN 4 DAYS.

NO MORE THAN 4,500 SF OF CONCRETE WALK/PAVEMENT MAY BE REMOVED AT ANY ONE TIME WITHOUT APPROVAL OF THE C.O.R.

CONCRETE WALK/PAVEMENT REMOVED MAY BE OUT OF SERVICE FOR NO LONGER THAN ONE BUSINESS WEEK (MONDAY - SUNDAY).

BUILDING 48:

- EAST AND WEST COURTYARD ACCESS POINTS MAY NOT BE CLOSED TO USE CONCURRENTLY.
- WEST COURTYARD ACCESS POINT MAY NOT BE CLOSED TO USE CONCURRENTLY WITH THE ACCESS POINT UNDER THE CANOPY.
- DRIVEWAY ACCESS POINT EAST OF THE BUILDING MAY NOT BE CLOSED TO USE CONCURRENTLY WITH THE EAST COURTYARD ACCESS POINT.

BUILDING 29:

- MIDDLE ACCESS POINT MAY NOT BE CLOSED TO USE CONCURRENTLY WITH THE EAST AND WEST ACCESS POINTS.

BUILDING 88:

- SIDEWALK REALIGNMENT WEST OF BUILDING 88 SHALL PROCEED FROM SOUTH TO NORTH SO AS TO MAINTAIN ONE OF THE WEST ACCESS POINTS AT ALL TIMES.

BUILDING 5:

- MIDDLE AND WEST ACCESS POINTS MAY NOT BE CLOSED TO USE CONCURRENTLY.
- CORRIDOR ACCESS POINT WEST OF BUILDING 5 MAY NOT BE CLOSED TO USE CONCURRENTLY WITH BUILDING ACCESS EAST OF BUILDING 5.

BUILDING 14:

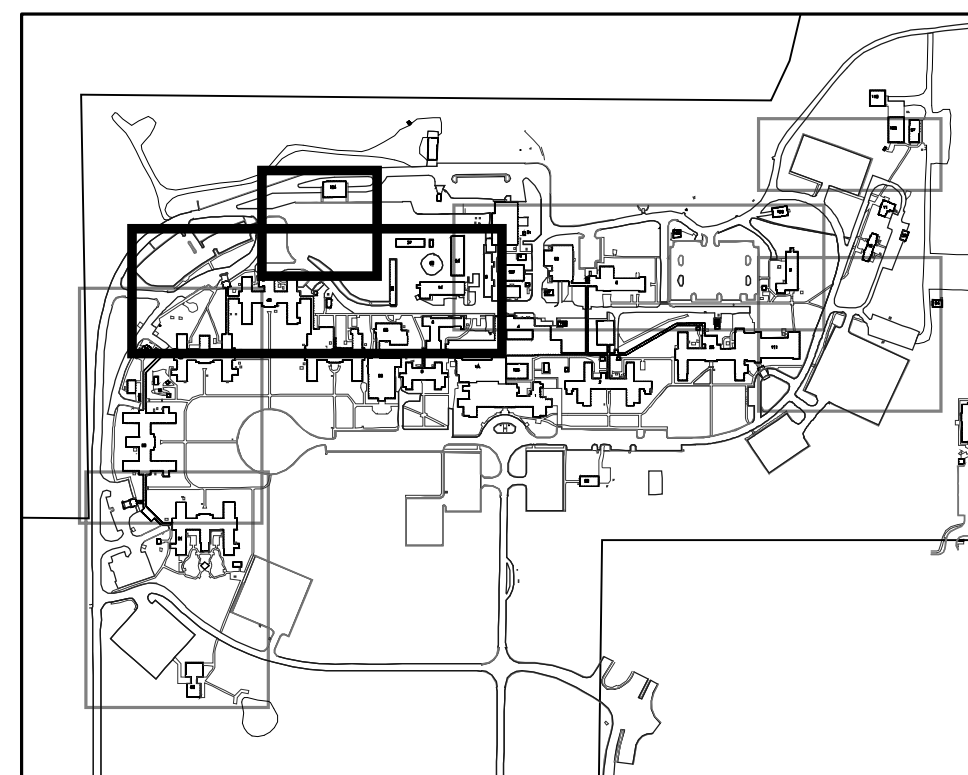
- ONE EAST AND ONE WEST ACCESS POINT MUST REMAIN OPEN TO USE AT ALL TIMES.

BUILDING 104:

- EAST AND WEST ACCESS POINTS MAY NOT BE CLOSED TO USE CONCURRENTLY.

LEGEND

- EXISTING CONCRETE WALK/PAVEMENT TO REMAIN
- CONCRETE WALK/PAVEMENT TO BE REMOVED AND REPLACED
- CONCRETE WALK/PAVEMENT TO BE REMOVED
- NEW CONCRETE WALK/PAVEMENT TO BE CONSTRUCTED
- SILT FENCE (AS REQUIRED)
- INLET PROTECTION
- SOD (MNDOT SPEC. 2575.3) AS REQUIRED
- FLOW DIRECTION



100% CD'S - FOR CONSTRUCTION

1	AMENDMENT NO. 1	3.8.13
No	REVISION	DATE

VA FORM 08-6231



Alexandria Office
120 17th Avenue W.
Alexandria, MN 56308
(507) 752-1290

St. Cloud Office
3339 West St. Germain, Suite 250
St. Cloud, MN 56301
(320) 217-9557



JLG XXXXX

STAMPED:
HARVEY CERRY III HAS REVIEWED THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Gina M. Dullinger, PE REG. NO. 000-02489
DATE: XX-XX-2013

DRAWING TITLE
PROPOSED IMPROVEMENTS
APPROVED PROJECT DIRECTOR
DATE:
DRAWN
D.J.F.
CHECKED BY
G.M.D.

PROJECT TITLE
REPLACE CURBS AND SIDEWALKS
DRAWING NO.
C104
DATE
01.15.2013
PROJECT NO.
656-13-227
SHEET NO.
1 OF 11

